

**SPARTANBURG COMMUNITY COLLEGE – TYGER RIVER BUILDING COSMETOLOGY  
RENOVATION**

**DUNCAN, SOUTH CAROLINA**

**OSE PROJECT # H59-N306-JM | ARCHITECTS PROJECT # 653251**

**GENERAL:**

Planholders are requested to insert this Addendum in the front of their Project Manual. Inform all concerned that the Bidding Documents are modified by this Addendum.

The following modifications and clarifications are hereby made a part of the Bidding Documents and supersede or otherwise modify the provisions of the published *Project Manual* and *Drawings*, dated May 1st, 2025.

Refer to the Drawings, Specification Sections, or other Documents, if any, attached to this Addendum, which are hereby made a part of this Addendum.

A Pre-Bid Conference was held on May 13th, 2025.

**MODIFICATIONS TO THE PROJECT MANUAL AND DRAWINGS:**

DELETE the previously issued Documents indicated below in their entirety and SUBSTITUTE the revised Documents in their entirety, noted as Addendum 01, dated May 23rd, 2025.

SECTION 042000 – UNIT MASONRY ASSEMBLIES

SECTION 087100 –FINISH HARDWARE

SECTION 090050 – SPACE FINISH SCHEDULE

SECTION 093100 – CERAMIC TILE

SECTION 096766: FLUID-APPLIED ATHLETIC FLOORING

DRAWING A1.2.2

DRAWING A2.1.2

DRAWING A3.0.1

DRAWING A3.2.1

DRAWING A4.2.1

DRAWING A4.2.2

DRAWING A7.2.1

DRAWING S2.1.1

DRAWING M1.1

DRAWING M1.2

DRAWING M1.3

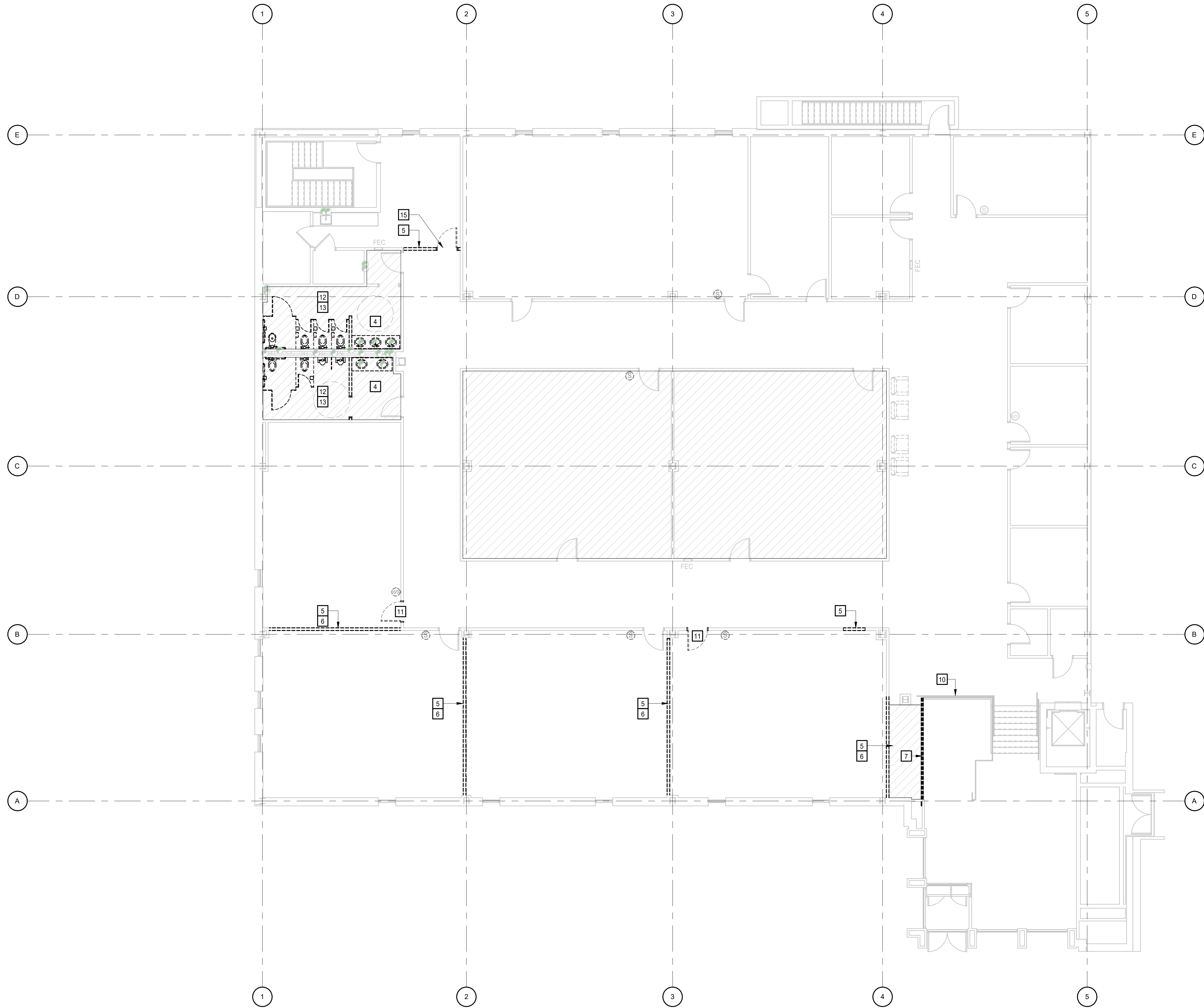
**REFER TO DRAWINGS ATTACHED TO THE END OF THIS ADDENDUM**

**REFER TO SPECIFICATION SECTIONSS ATTACHED TO THE END OF THIS ADDENDUM**

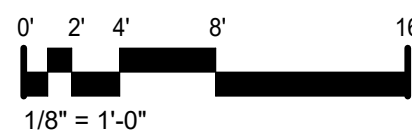
**REFER TO DOCUMENTS ATTACHED TO THE END OF THIS ADDENDUM**

**END OF ADDENDUM NO1**

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**1** UPPER LEVEL - DEMOLITION PLAN  
A1.2.2 1/8" = 1'-0"



### DEMOLITION PLAN LEGEND

APPLIES TO DRAWINGS A1.2.1 - A1.2.n

- EXISTING PARTITION/WALL/ITEM TO REMAIN
- REMOVE EXISTING PARTITION/WALL/ITEM
- REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
- REMOVE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE, ANCHORS, AND THRESHOLD (WHERE OCCURS)
- REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING FLOORING AND WALL BASE IN THIS AREA. PREPARE SUBSTRATE TO RECEIVE NEW FLOORING

### DEMOLITION PLAN GENERAL NOTES

- A. REFER TO MECHANICAL, ELECTRICAL, & PLUMBING FOR DEMOLITION SCOPE OF EACH DISCIPLINE.
- B. REFER TO A9.0 SERIES FOR REFLECTED CEILING PLAN DEMOLITION SCOPE.
- C. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES AND LOCATIONS.
- D. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, THERMOSTATS, LIGHT FIXTURES, PIPING, ATTACHMENTS AND DEVICES ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE FINISHES.
- F. ALL FURNITURE AND LOOSE ITEMS (IE ARTWORK, FRAMED PICTURES, ETC.) WILL BE REMOVED BY OWNER.

### DEMOLITION PLAN KEYNOTES

REPRESENTED BY [A]

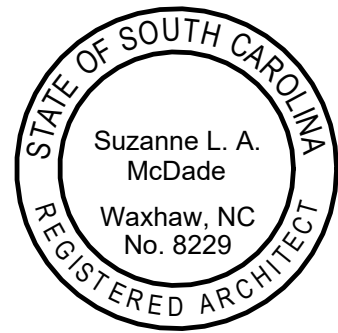
APPLIES TO DRAWINGS A1.2.1 - A1.2.n

- 1 ALTERNATE NO.01 - DEMO ALL PLUMBING FIXTURES, TOILET ACCESSORIES AND TOILET PARTITIONS
- 2 ALTERNATE NO.01 - DEMO EXISTING WALL TILE
- 3 ALTERNATE NO.01 - DEMO WALL
- 4 DEMO COUNTER AND TOILET ACCESSORIES
- 5 DEMOLISH PORTION OF WALL AS SHOWN. PATCH EXISTING FLOORING AND BASE AS REQUIRED.
- 6 RELOCATE ALL EXISTING ELECTRICAL AND FIRE ALARM FIXTURES
- 7 DEMO PORTION OF GUARDRAIL AS SHOWN.
- 10 EXISTING GUARDRAIL TO REMAIN
- 11 DEMO EXISTING DOOR. DOOR PANEL AND FRAME SHALL BE SALVAGE AND REUSED.
- 12 DEMO TOILET PARTITIONS
- 13 DEMO PLUMBING FIXTURES
- 15 DEMO DOOR AND ASSOCIATED FRAME
- 16 EXISTING TREES TO BE REMOVED BY THE OWNER PRIOR TO DEMOLITION ACTIVITIES
- 17 REMOVE PORTION OF EXISTING CHAINLINK FENCE FOR EXPANSION TO HOUSEKEEPING PAD
- 18 EXISTING CHILLER AND HOUSEKEEPING PAD TO REMAIN

ADDENDUM NO.1

**MOSELEYARCHITECTS**

6210 ARDREY KELL ROAD • THE HUB AT WAXHAW, SUITE 425 • CHARLOTTE, NC 28277  
PHONE (704) 540-5745  
MOSELEYARCHITECTS.COM



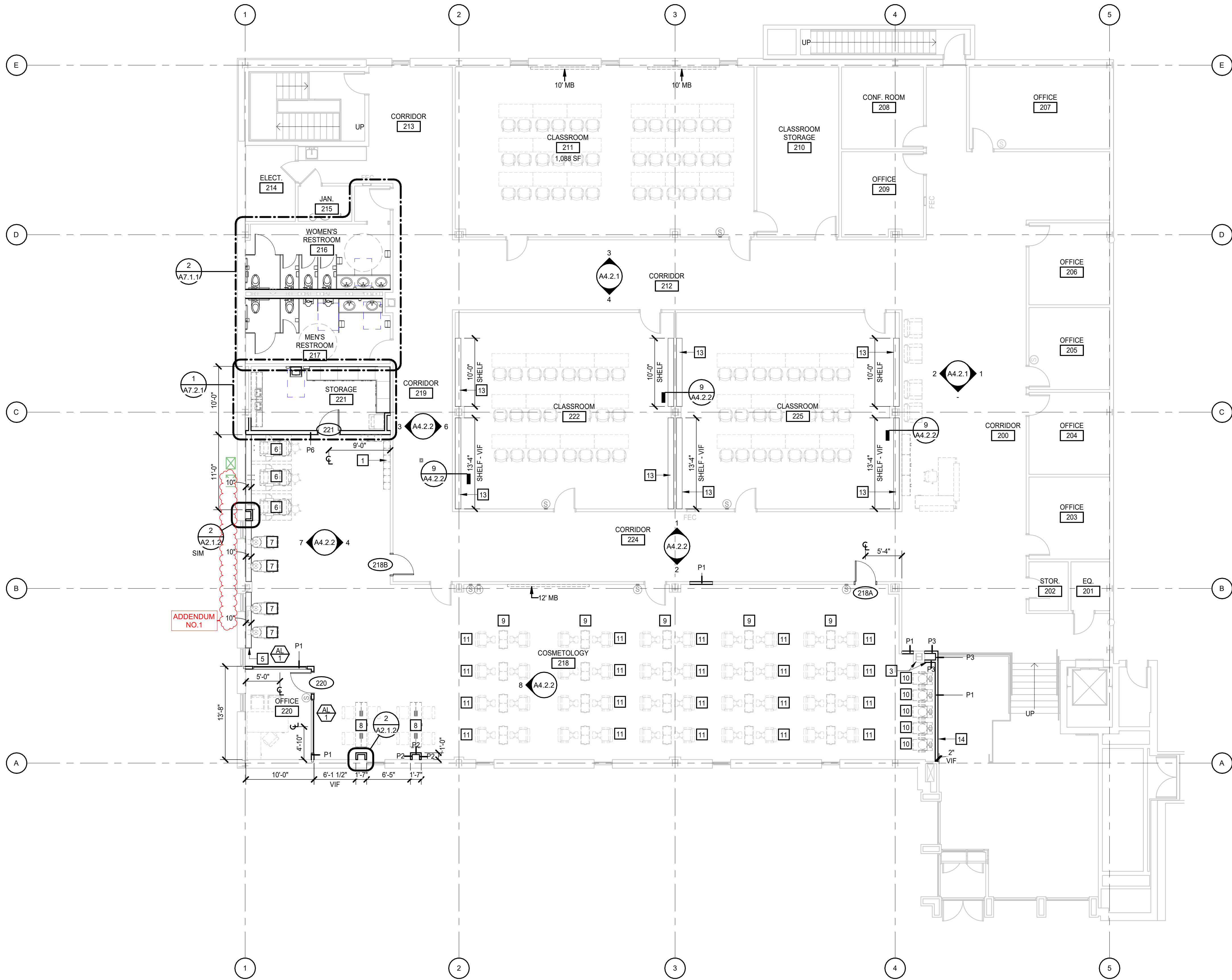
**SCC - TYGER RIVER BUILDING COSMETOLOGY RENOVATION**

1875 E. MAIN ST., DUNCAN, SC 29334  
SPARTANBURG COMMUNITY COLLEGE  
OSE PROJECT #: H59-N306-JM

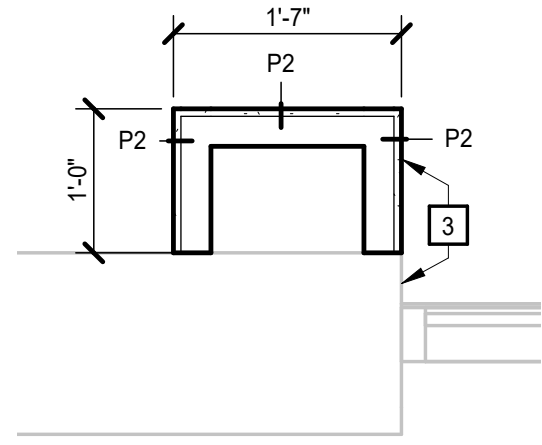
PROJECT NO:	635251
DATE:	APRIL 08 2025
REVISIONS	
DATE	DESCRIPTION
04/25/2025	REV. 01
5/23/2025	ADDENDUM NO.1

UPPER LEVEL -  
DEMOLITION PLAN

**A1.2.2**



**2 PLAN DETAIL 1**  
A2.1.2 | A2.1.2 3/4" = 1'-0"



**1 UPPER LEVEL - FLOOR PLAN**  
A2.1.2 1/8" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

- A. SALON FURNITURE IS OWNER FURNISHED AND CONTRACTOR INSTALLED.
- B. PROVIDE BLOCKING AS NEEDED FOR WALL ANCHORED ELEMENTS.
- C. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT DESIRED LOCATION OF ALL OFICI FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO TELEVISIONS, SECURITY CAMERAS, DOOR ACCESS CONTROLS, WIFI HUBS, ETC PRIOR TO INSTALLING ANY ASSOCIATED ANCHORING OR UTILITIES.

**FLOOR PLAN KEYNOTES**

REPRESENTED BY [1]  
APPLIES TO DRAWINGS A2.1 - A2.m

- 1 DOUBLE TIER WOOD LOCKERS - REFER TO SPECIFICATIONS.
- 2 COLOR BAR - OFCI.
- 3 ALIGN WALL WITH EXISTING WALL.
- 5 END PANEL FLUSH WITH WINDOW.
- 6 PEDICURE SPA CHAIR - OFCI
- 7 HAIR WASH STATION - OFCI
- 8 NAIL TABLE - OFCI.
- 9 DOUBLE SIDE STYLING STATION- OFCI.
- 10 DRYER CHAIR - OFCI.
- 11 SALON CHAIR - OFCI.
- 13 WOOD SHELF W/ PLASTIC LAMINATE FINISH
- 14 ALIGN WALL WITH EXISTING WALL BELOW.
- 15 EXISTING CHILLER AND HOUSEKEEPING PAD
- 16 EXPAND EXISTING HOUSKEEPING PAD FOR NEW DEDICATED OUTDOOR AIR SYSTEM UNIT
- 17 DEDICATED OUTDOOR AIR SYSTEM UNIT WITH ASSOCIATED DUCTS AND PIPING, RE MECHANICAL
- 18 SITE FENCING EXPANDED FOR DEDICATED OUTDOOR AIR SYSTEM UNIT AND HOUSEKEEPING PAD



FINISH SCHEDULE									
NUMBER	NAME	FLOOR	BASE	WALLS				NOTES	
				NORTH	EAST	SOUTH	WEST		
115	MEN	P-TILE-A1	P-TILE-A2	PT4	PT4	GW1/PT4	PT4	NOTE #3 - ALTERNATE #1	
116	WOMEN	P-TILE-A1	P-TILE-A2	GW1/PT4	PT4	PT4	PT4	NOTE #3 - ALTERNATE #1	
200	CORRIDOR	EX	EX	PT1	PT1	PT1	PT1	NOTE #2	
200A	SECURITY	EX	EX / RB	PT1	PT1	PT1	PT1	NOTE #4	
200B	RECEPTION	EX	EX	PT1	PT1	PT1	PT1		
200C	WAITING AREA	EX	EX	PT1	PT1	PT1	PT1		
200D	MAIL ROOM	EX	EX	PT1	PT1	PT1	PT1		
201	EQ	EX	EX	PT1	PT1	PT1	PT1		
202	STOR.	EX	EX	PT1	PT1	PT1	PT1		
203	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
204	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
205	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
206	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
207	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
208	CONF. ROOM	EX	EX	PT1	PT1	PT1	PT1		
209	OFFICE	EX	EX	PT1	PT1	PT1	PT1		
210	CLASSROOM STORAGE	EX	EX	PT1	PT1	PT1	PT1		
211	CLASSROOM	EX	EX	PT1	PT1	PT1	PT1		
212	CORRIDOR	EX	EX	PT1	PT1	PT1	PT1	NOTE #1	
213	CORRIDOR	EX	EX	PT1	PT1	PT1	PT1		
214	ELECT.	EX	EX	EX	EX	EX	EX		
215	JAN.	EX	EX	EX	EX	EX	EX		
216	WOMEN'S RESTROOM	P-TILE-A1	P-TILE-A2	PT4	PT4	GW1/PT4	PT4		
217	MEN'S RESTROOM	P-TILE-A1	P-TILE-A2	GW1/PT4	PT4	PT4	PT4		
218	COSMETOLOGY	EX	EX / RB	PT1	A-PT3	PT1	A-PT3	NOTE #4	
219	CORRIDOR	EX	EX	PT1	PT1	PT1	PT1	NOTE #1	
220	OFFICE	EX	EX / RB	PT1	PT1	PT1	PT1	NOTE #4	
221	STORAGE	EX	EX / RB	PT1	PT1	PT1	PT1	NOTE #4	
222	CLASSROOM	TCF-A	RB	PT1	PT1	PT1	PT1		
224	CORRIDOR	EX	EX	PT1	PT1	PT1	PT1	NOTE #1	
225	CLASSROOM	TCF-A	RB	PT1	PT1	PT1	PT1		
NOTE:									
1. CORRIDOR SHALL RECEIVE 8" STRIP OF PAINT A-PT5 AND A-PT6 ON THE WEST WALL ONLY - REFER TO INTERIOR ELEVATIONS.									
2. CORRIDOR SHALL RECEIVE 8" STRIP OF PAINT A-PT5 AND A-PT6 ON ALL SIDES - REFER TO INTERIOR ELEVATIONS.									
3. ALL WET WALLS SHALL HAVE GLAZED WALL TILE UP TO 8'-0" ABOVE FINISH FLOOR.									
THE REST OF THE WALL SHALL BE PAINTED WITH PT4.									
4. PROVIDE RB BASE AT ALL NEW WALLS UNLESS OTHERWISE NOTED.									

ADDENDUM NO.1

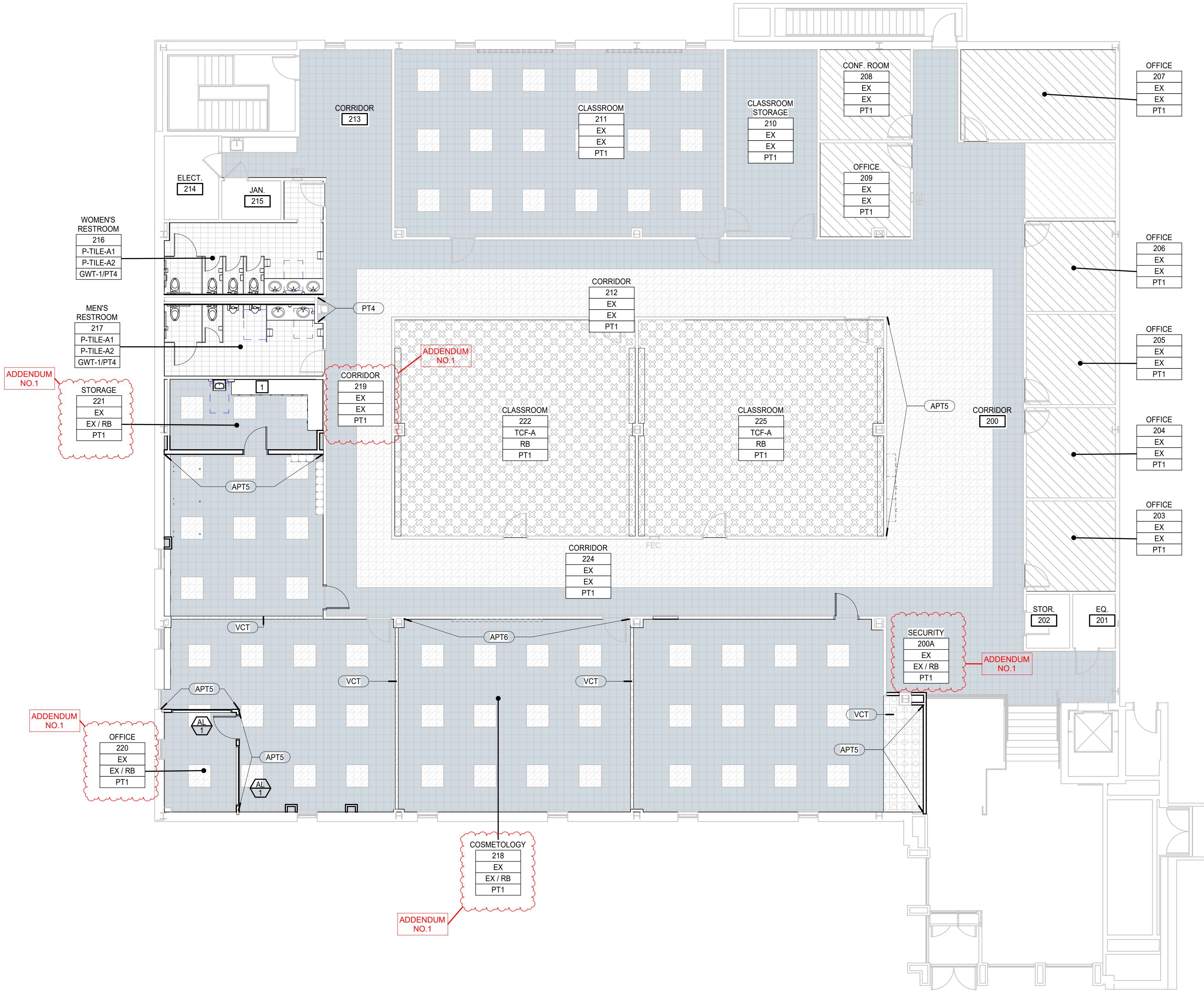
FINISH SCHEDULE GENERAL NOTES	
A. FINISH SCHEDULE DESCRIBES ONLY THE BASIC OR PREDOMINANT SURFACE FINISH.	
B. PROVIDE SAME FINISHES AS THE ADJACENT SPACE IN ALCOVES AND CONTINUOUS SPACES WITHOUT DESIGNATED SPACE NUMBERS.	
C. CASEWORK FINISHES ARE NOT NOTED IN THE FINISH SCHEDULE. REFER TO CASEWORK ELEVATIONS AND SPECIFICATIONS FOR MATERIALS AND FINISHES.	
D. DIRECTIONAL WALL FINISH INDICATORS (NORTH, EAST, SOUTH, WEST) REFER TO THE "PLAN" NORTH ORIENTATION.	
E. BULKHEADS AND SOFFITS MAY NOT BE INDICATED IN FINISH SCHEDULES. REFER TO RCP DETAILS, AND OTHER DOCUMENTS FOR EXTENT.	
F. PROVIDE CONTINUOUS SEALANT BETWEEN INTERIOR SLAB-ON-GRADE AND VERTICAL ELEMENT WHERE JOINT IS NOT CONCEALED BY FINISH BASE OR OTHER CONSTRUCTION	
G. REFER TO SPECIFICATIONS FOR INFORMATION ON FINISH FIRE CLASSIFICATION RATING.	
H. PAINT ALL EXPOSED ELEMENTS (SUCH AS PIPING AND CONDUITS) TO MATCH ADJACENT COLOR (HIDE & BLEND).	

INTERIOR FINISH LEGEND					
SPECIFICATION	DESCRIPTION	MATERIAL	MANUFACTURER	PRODUCT - COLOR	REMARKS
ARCHITECTURAL WOOD AND CASEWORK					
64100	PLAM	PLASTIC LAMINATED	WILSONART	COSMIC STRANDZ 4941K-18 - LINEARITY FINISH	RESTROOMS COUNTERTOP
TILING					
93000	GW1-1	GLAZED WALL TILE		MATCH EX. REMODELED RESTROOMS	WET WALL AT RESTROOMS
93000	P-TILE-A1	PORCELAIN TILE		MATCH EX. REMODELED RESTROOMS	
93000	P-TILE-A2	PORCELAIN TILE - BASE		MATCH EX. REMODELED RESTROOMS	
ACOUSTICAL CEILINGS					
95100	IACF-A	ACOUSTICAL CEILING PANELS	USG	2210 RADAR 24"X24" CLIMAPLUS	
RESILIENT FLOORING					
96500	VCT	VINYL COMPOSITE TILE FLOORING	ARMSTRONG	STANDARD EXCELON 51904 - STERLING 12X12	MATCH EXISTING
RESILIENT BASE AND ACCESSORIES					
96513	RB	RUBBER BASE	JOHNSONITE	TP-GREY 4"	WRAP CORNERS
TEXTILE COMPOSITE FLOORING					
96818	TCF-A	TEXTILE COMPOSITE FLOORING	J&J FLOORING	KINETEX - STRATA 1826/1853 COLOR - VOLCANIC	
PAINTING					
99100	APT5	BLUE STRIPE	SHERWIM WILLIAMS	PANTONE 2757 - MATCH EXISTING	ACCENT CORRIDOR STRIPE
99100	APT6	GREEN STRIPE	SHERWIM WILLIAMS	SW6924 DIRECT GREEN - EGGSHELL	ACCENT CORRIDOR STRIPE
99100	PT1	PAINT	SHERWIM WILLIAMS	SW7013 IVORY LACE - EGGSHELL	FIELD
99100	PT2	PAINT - DOOR FRAME	SHERWIM WILLIAMS	SW7019 GAUNTLET GREY - SEMIGLOSS	AND DOOR - IF PAINTED
99100	PT3	PAINT	MINIWAX	319110000 POLYURETHANE - CLEAR SEMIGLOSS	FOR STAINED WOOD DOORS ONLY
99100	PT4	PAINT	SHERWIM WILLIAMS	SW7603 POOL HOUSE - SEMIGLOSS	RESTROOMS
99100	PT7	PAINT	SHERWIM WILLIAMS	SW6237 DARK NIGHT - SEMIGLOSS	CABINETS

FINISH PLAN LEGEND	
NAME NUMBER Floor Finish Base Finish Wall Finish Ceiling Finish Wallscot	FINISH PLAN TAG A-PT WALL FINISH EXTENTS FLOOR FINISH TRANSITION, CHANGE OF MATERIAL CG-X CORNER GUARD
EXISTING CARPET TO REMAIN	TCF
EXISTING VCT-A TO REMAIN	TILE
EXISTING VCT-B TO REMAIN	NEW VCT TO MATCH VCT-A
*UNO. HATCHES DO NOT INDICATE FLOOR INSTALLATION PATTERN, METHOD OR DIRECTION. HATCHES INDICATE START AND STOP-OF FINISHES ONLY.	

FINISH PLAN GENERAL NOTES	
A. REFER TO A0.1 FOR ABBREVIATION LEGEND.	
B. WHERE ONE FINISH IS LISTED ON ALL WALLS OF THE ROOM, THE FINISH PLANS DO NOT SHOW EXTENT OF FINISH. FINISH PLANS AND ELEVATIONS SHOW EXTENT OF MATERIALS WHERE FINISH SCHEDULE LISTS MULTIPLE FINISHES IN ONE ROOM	
C. DIRECTIONAL WALL FINISH INDICATORS (NORTH, SOUTH, EAST, WEST) REFER TO THE "PLAN" NORTH ORIENTATION.	

FINISH PLAN KEYNOTES	
REPRESENTED BY [1]	
APPLIES TO DRAWINGS A3.0.1 - A3.0.n	
1	PLASTIC LAMINATE COUNTER - PLAM2

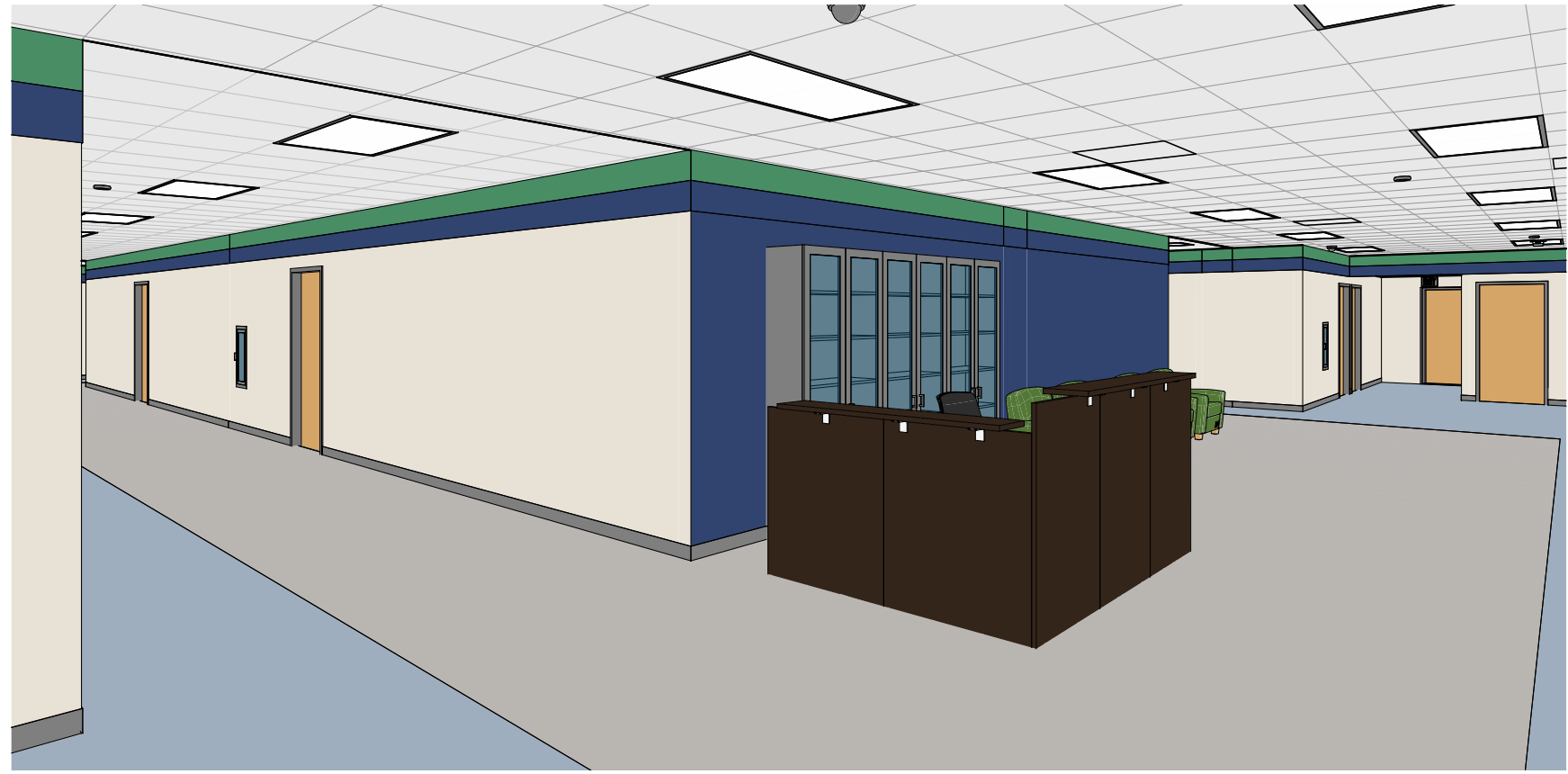


1 UPPER LEVEL FINISH PLAN  
A3.0.1 1/8" = 1'-0"



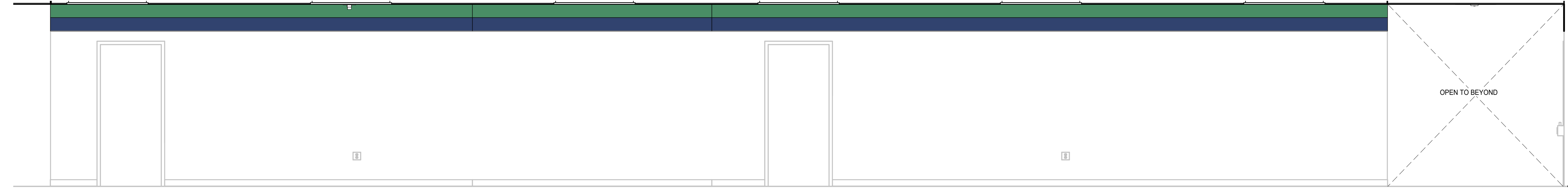






CORRIDOR 200 - VIEW 1

NO SCALE



ADDENDUM  
NO.1

ADDENDUM  
NO.1

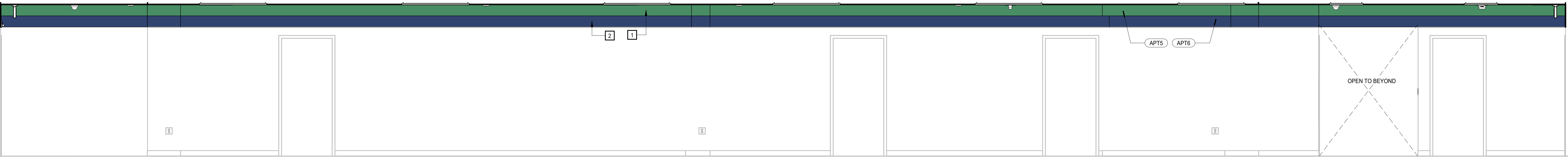
INTERIOR ELEVATION KEYNOTES

REPRESENTED BY [A]  
APPLIES TO DRAWINGS A4.2 - A4.n

- 1 8" ACCENT PAINT - BLUE
- 2 8" ACCENT PAINT - GREEN
- 3 DOUBLE TIER WOOD LOCKERS - OFCI - REFER TO SPECIFICATIONS
- 4 HAIR WASH STATION - OFCI
- 5 PEDICURE SPA - OFCI
- 6 BUILD UP CASEWORK WITH PLASTIC LAMINATED FINISH
- 7 DOUBLE SIDE HAIR STYLING STATION - OFCI
- 8 GLASS DOOR CABINET FOR MERCHANDIZE - OFCI
- 9 PLASTIC LAMINATE ON 3/4" PLYWOOD
- 10 CFSF - NS 2 1/2"
- 11 WOOD SHELVING WITH PLAM FINISH ON PRE-FINISHED METAL BRACKET FOR MANNEQUIN HEAD STORAGE
- 12 3/4" PLYWOOD SHELVING WITH PLAM FINISH ON ALL EXPOSED ENDS
- 13 PRE-FINISHED METAL BRACKET AS NEEDED - BRACKET COLOR TO BE SELECTED BY OWNER & ARCHITECT
- 14 RB BASE

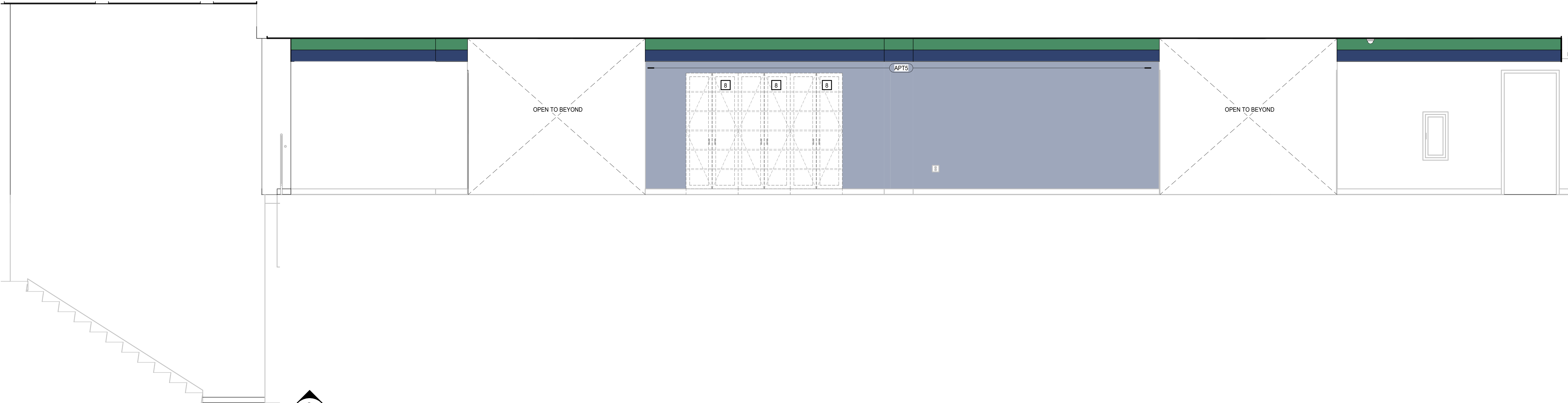
4 CORRIDOR 212 - S

A2.1.2 | A4.2.1 3/8" = 1'-0"



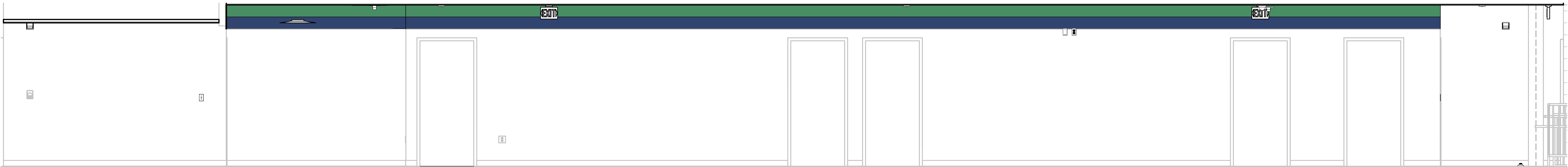
3 CORRIDOR 212 - N

A2.1.2 | A4.2.1 3/8" = 1'-0"



2 CORRIDOR 200 - W

A2.1.2 | A4.2.1 3/8" = 1'-0"

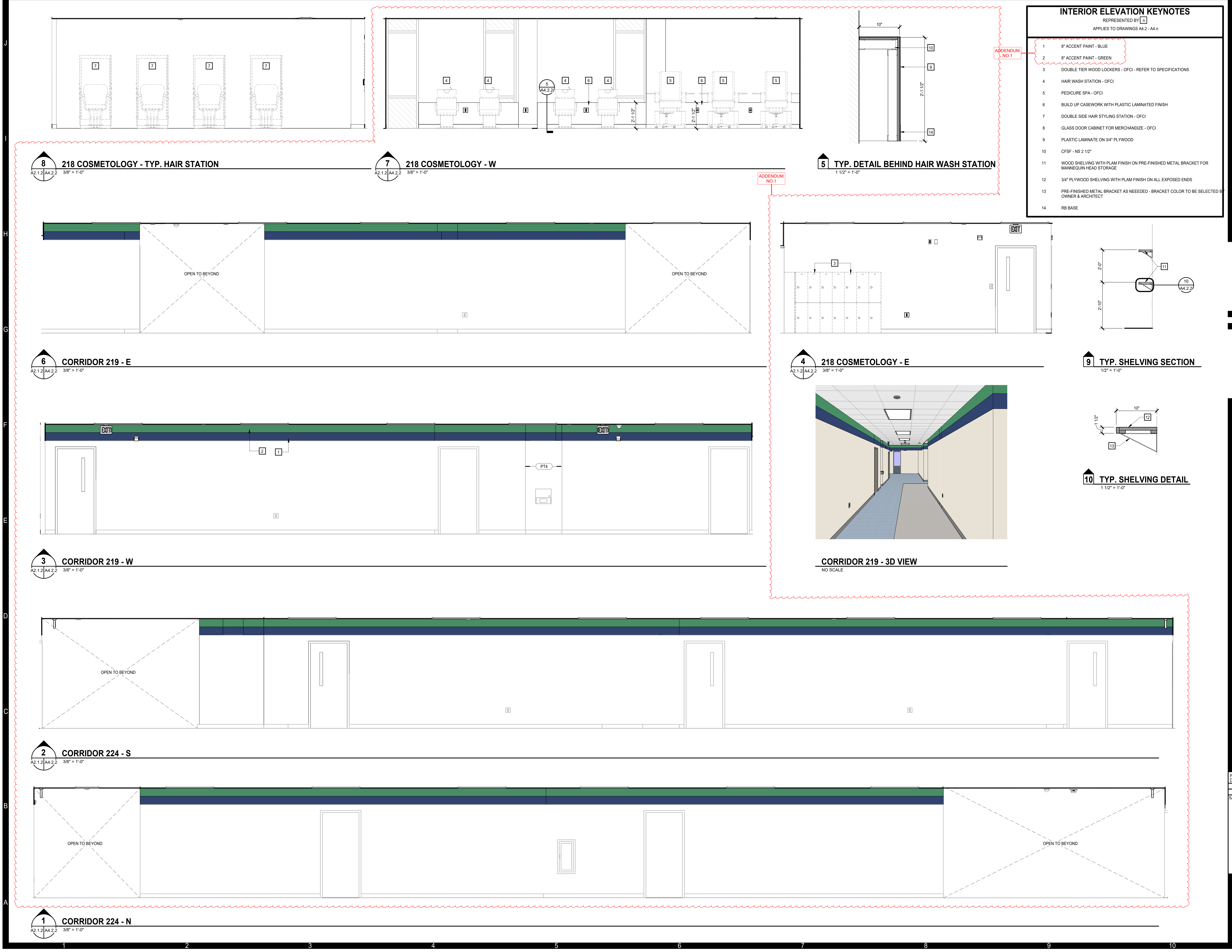


1 CORRIDOR 200 - E

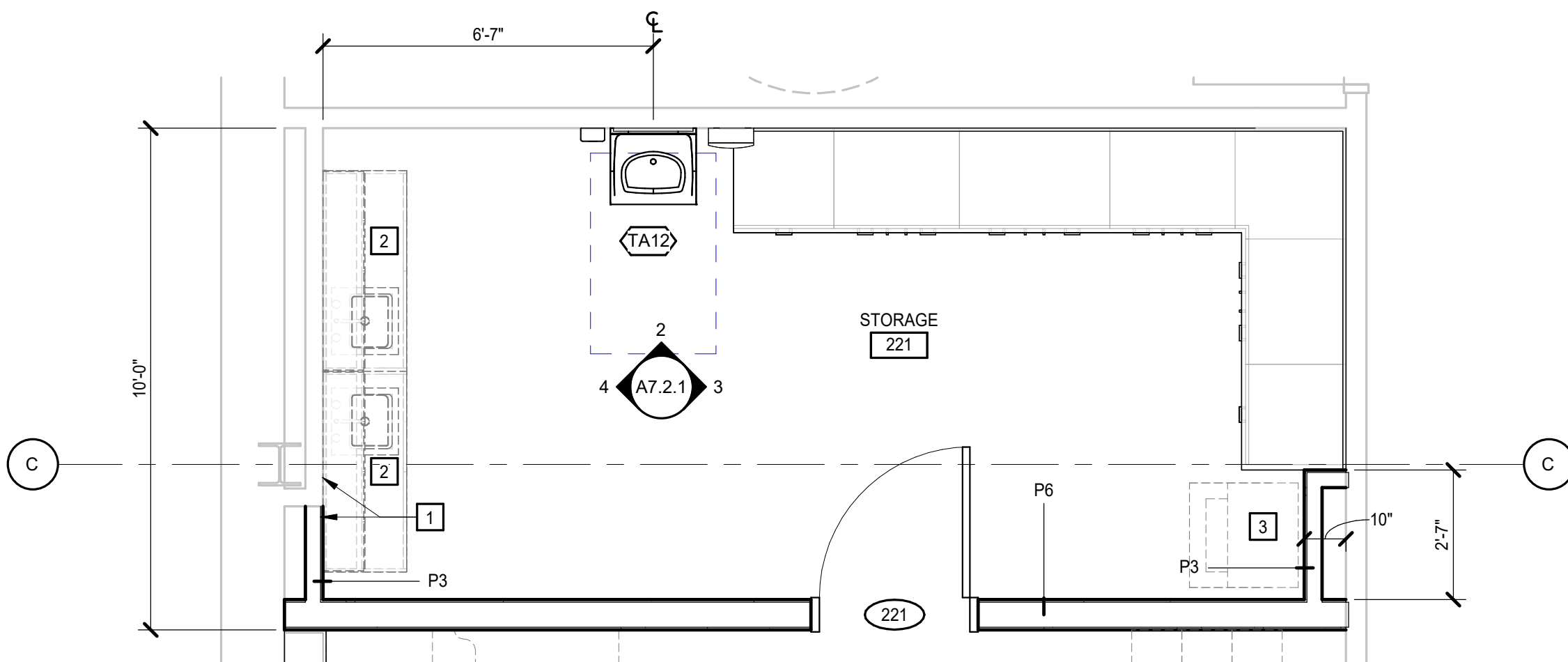
A2.1.2 | A4.2.1 3/8" = 1'-0"



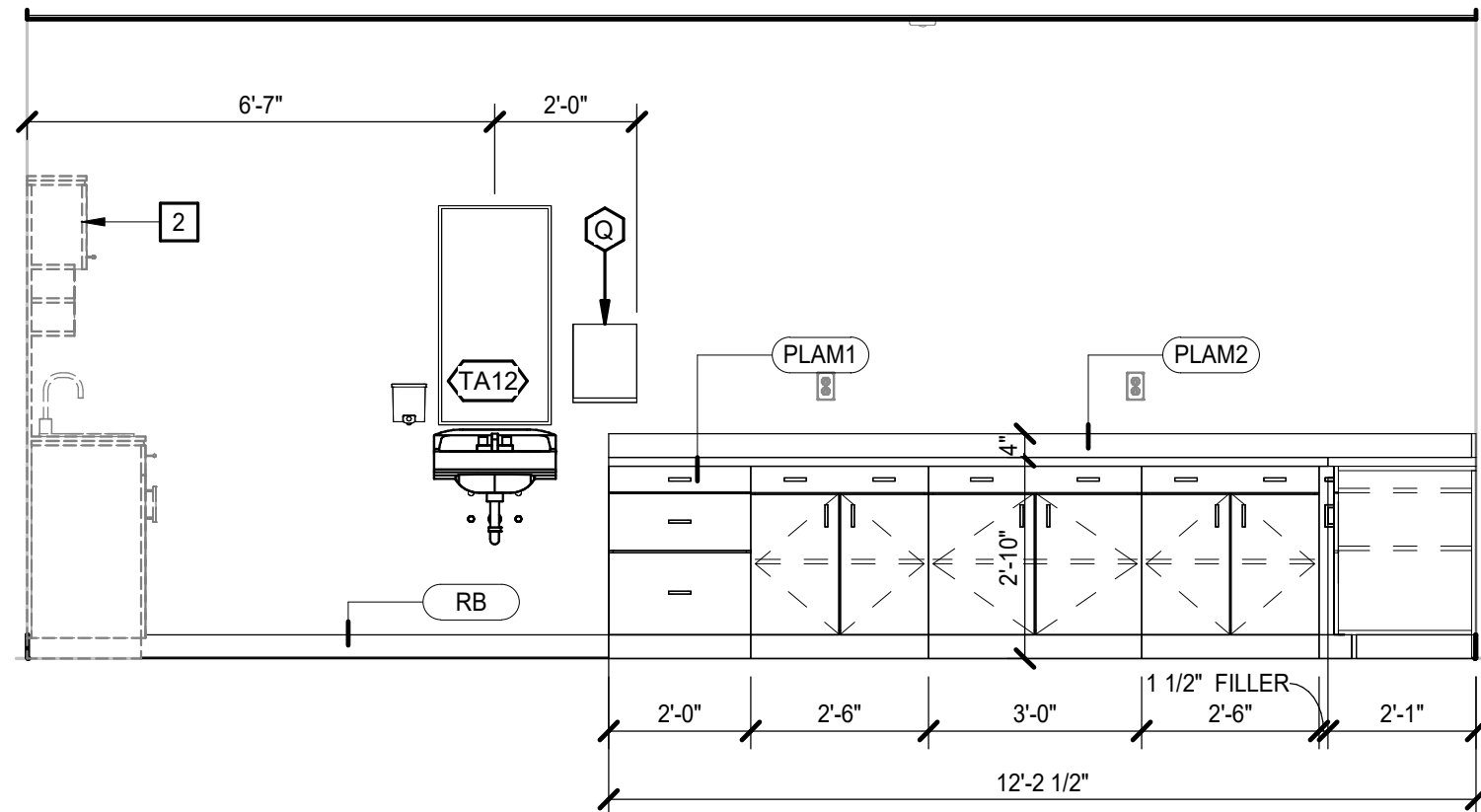




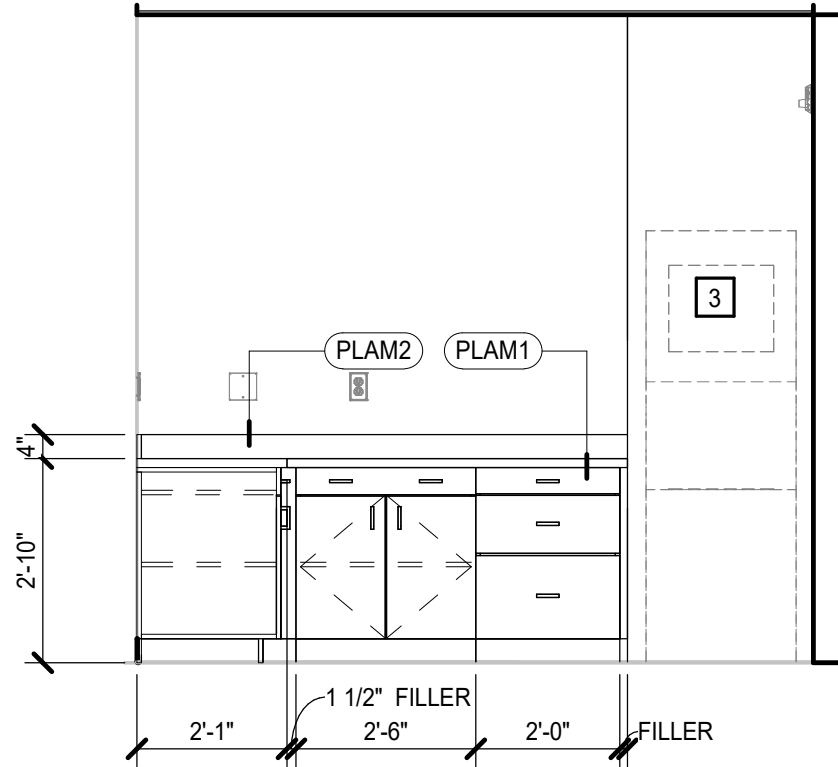
**1 ENLARGED PLAN - 221 STORAGE**  
A2.1.2 | A7.2.1 3/8" = 1'-0"



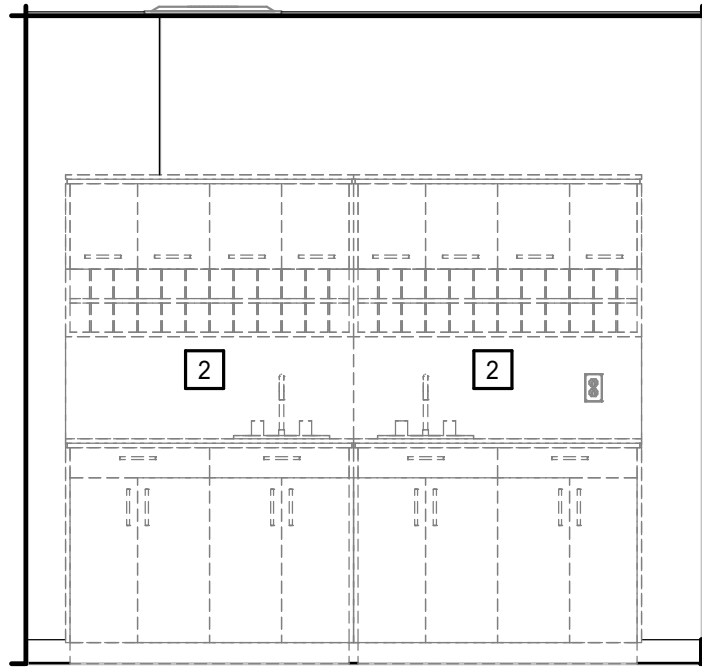
**2 221 STORAGE - N**  
A7.2.1 | A7.2.1 3/8" = 1'-0"



**3 221 STORAGE - E**  
A7.1.1 | A7.2.1 3/8" = 1'-0"

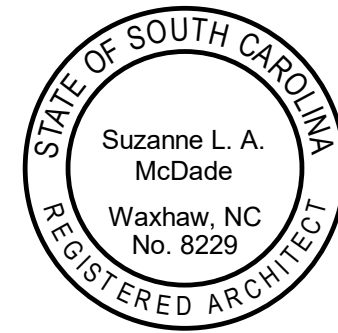
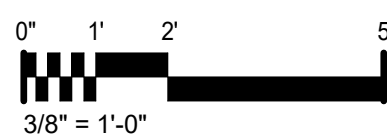


**4 221 STORAGE - W**  
A7.1.1 | A7.2.1 3/8" = 1'-0"

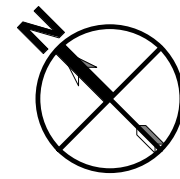


ADDENDUM  
NO. 1

ENLARGED PLAN KEYNOTES	
REPRESENTED BY [n] APPLIES TO DRAWINGS A7.2.1	
1	NEW WALL PARTITION ALIGN WITH EXISTING WALL
2	COLOR BAR - BY OWNER
3	STACKED WASHER AND DRYER, REFER TO SPECIFICATIONS





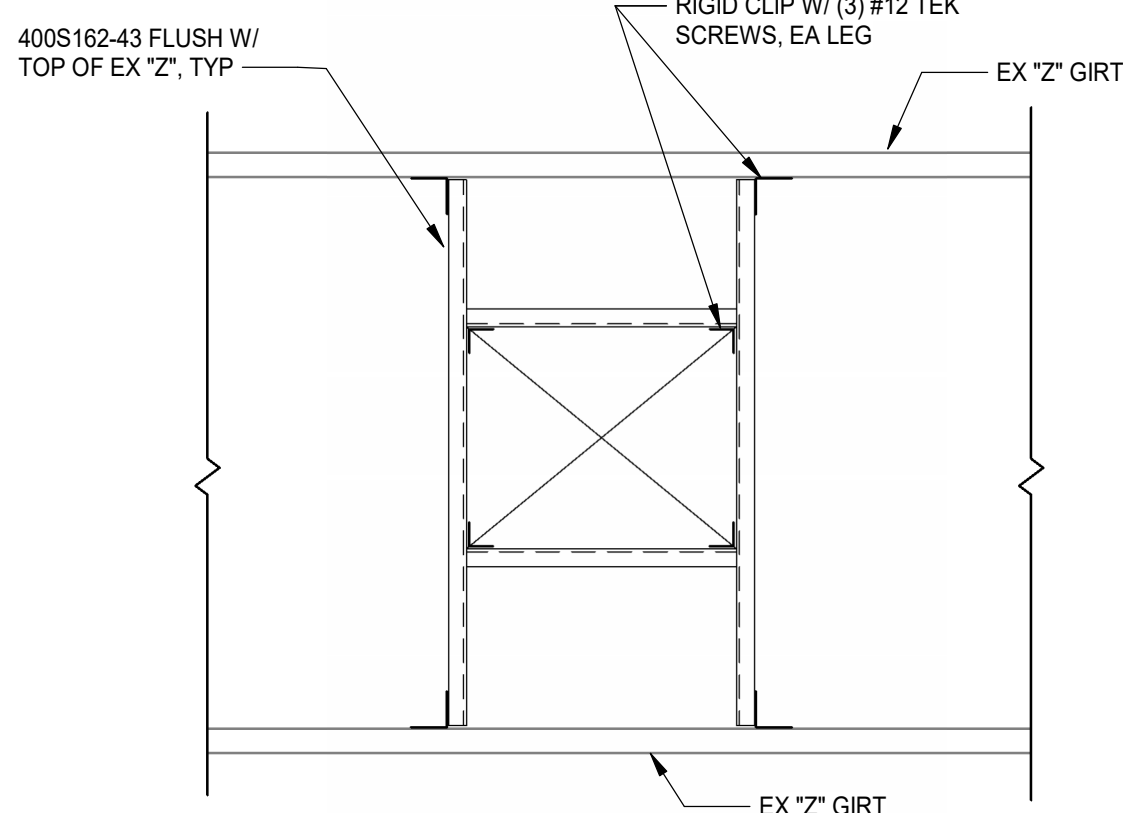
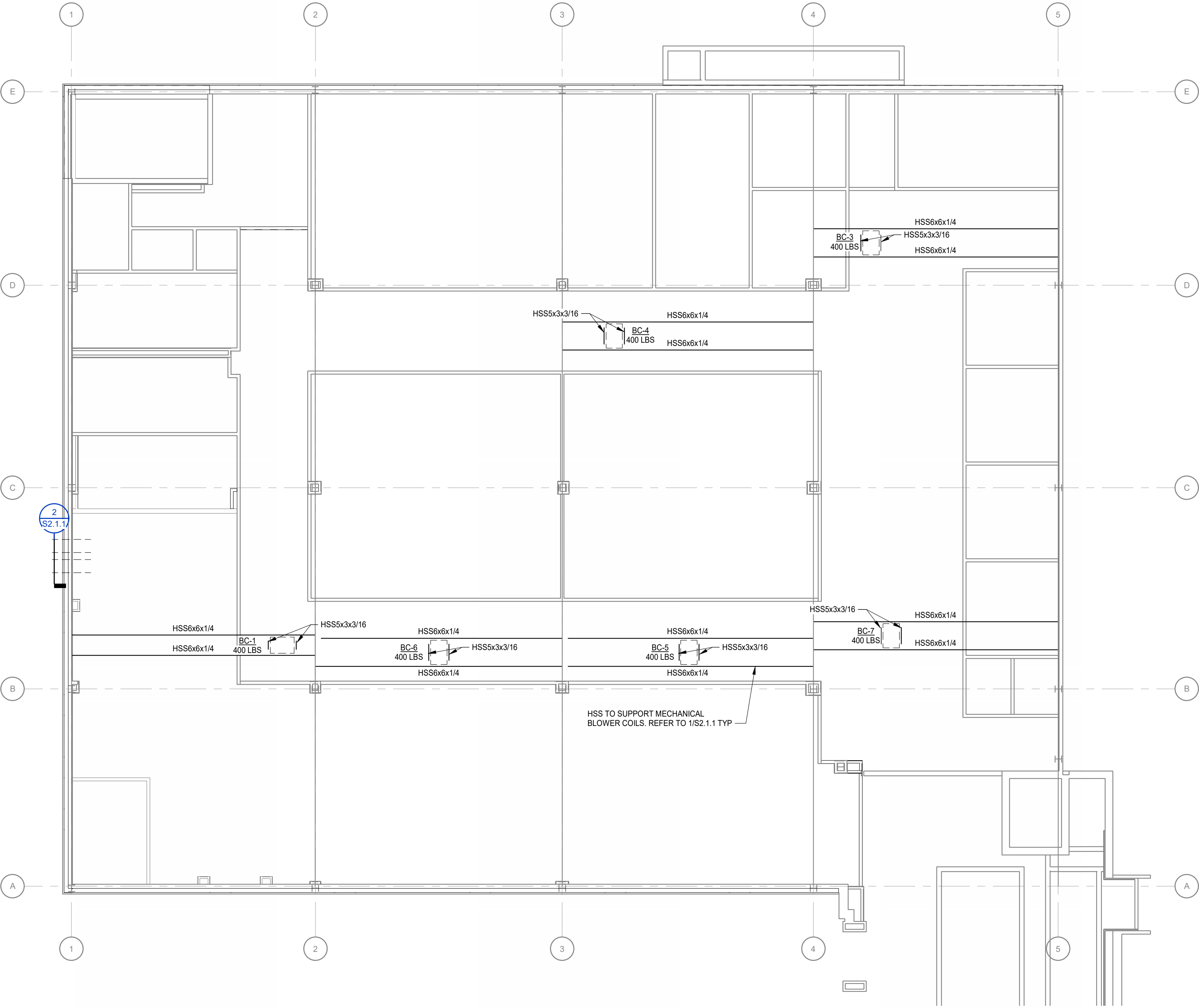


ROOF - FRAMING PLAN

1/8" = 1'-0"

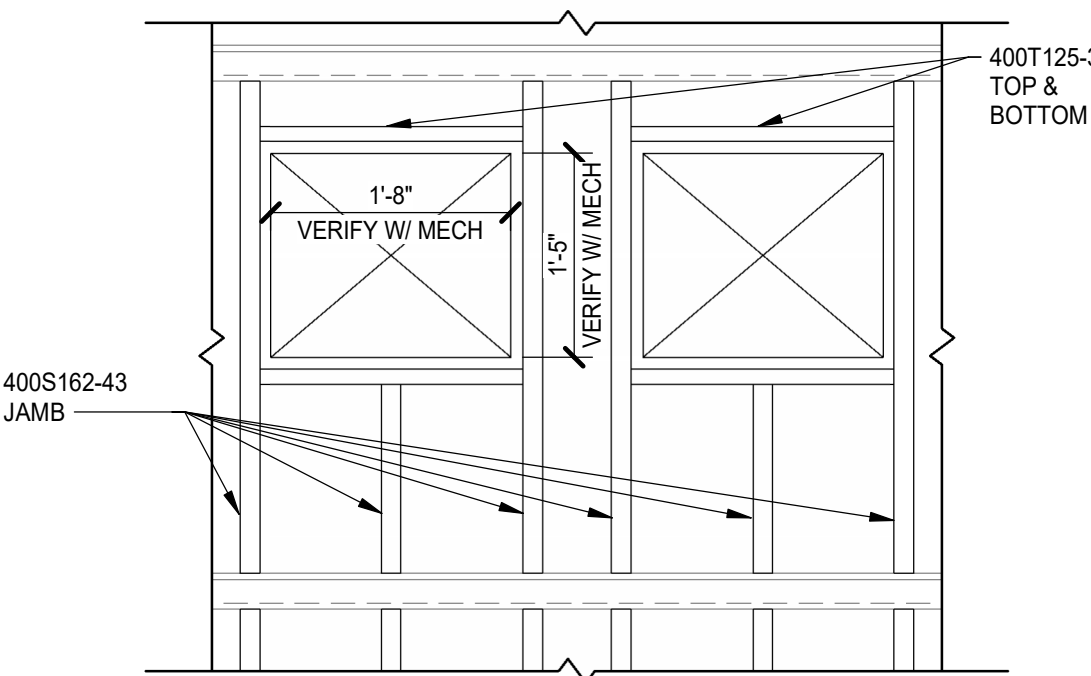
ROOF FRAMING PLAN NOTES:

1. TOP OF STEEL BEAMS INDICATED THUS (-X'-X") ON PLAN SHALL BE REFERENCED FROM FINISHED FIRST FLOOR ELEVATION.
2. REFER TO DRAWING S0.0.1 FOR GENERAL NOTES, PLAN LEGEND, AND STRUCTURAL ABBREVIATIONS.
3. EXISTING PURLINS NOT SHOWN FOR CLARITY
4. CONTRACTOR TO FIELD VERIFY EXISTING STRUCTURE AND COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION
5. AN ADDITIONAL 0.5 PSF HAS BEEN APPLIED TO THE EXISTING ROOF DEAD LOAD



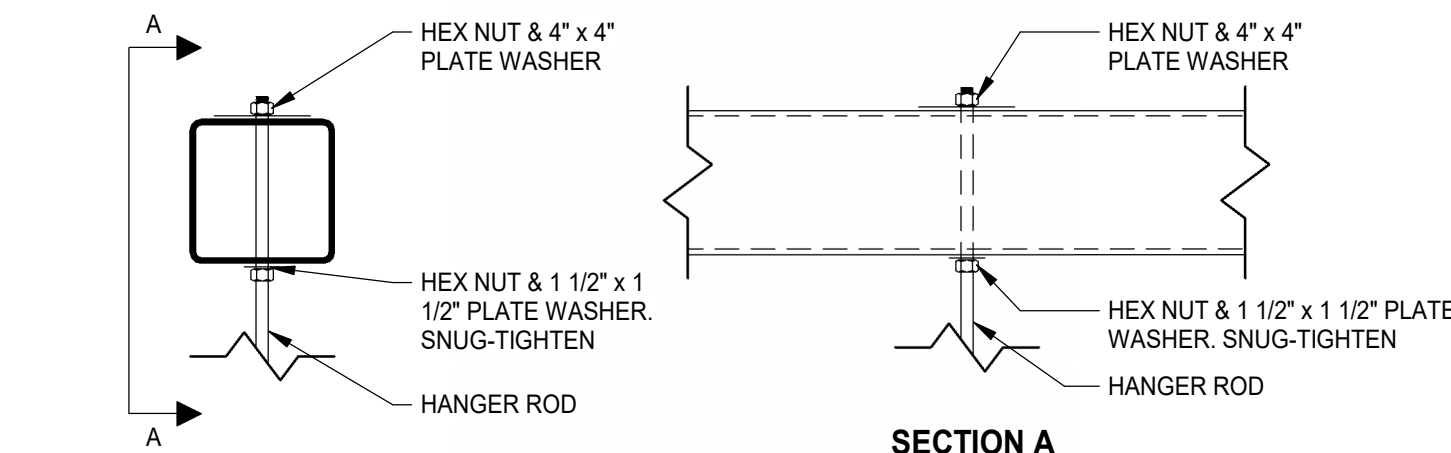
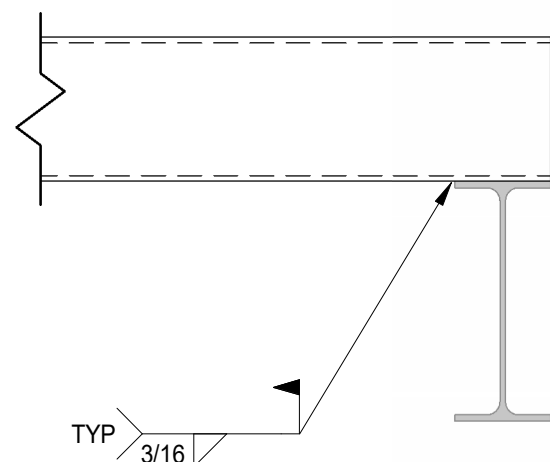
TYP ROOF OPENING DETAIL

NO SCALE



2 SECTION

S2.1.1 S2.1.1 3/4" = 1'-0"



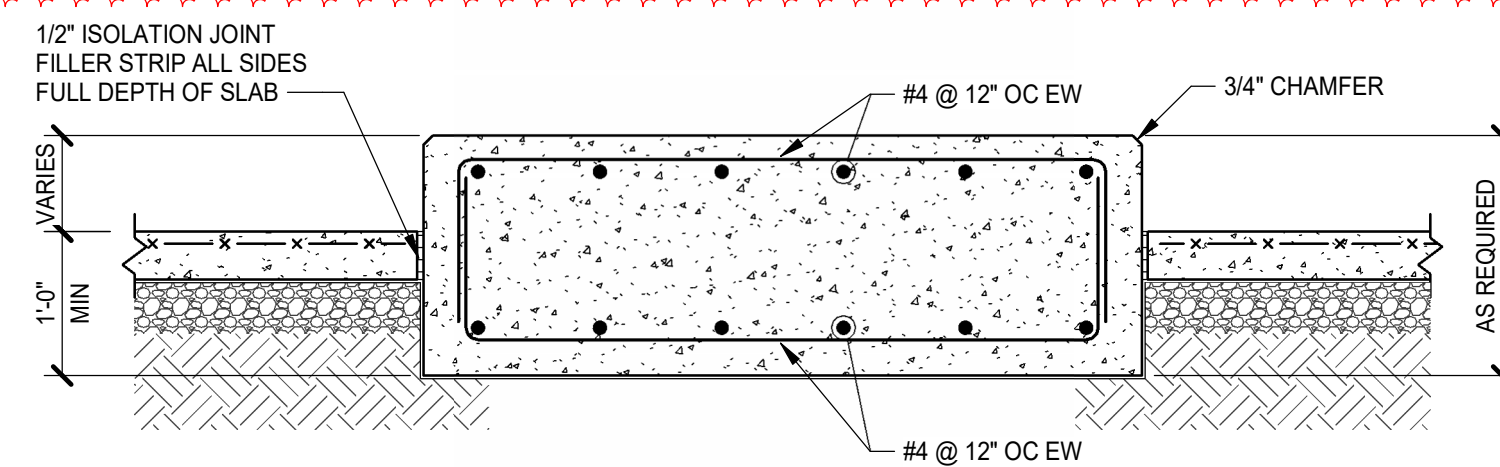
NOTE: CONTRACTOR SHALL PROVIDE DESIGN OF HANGER ASSEMBLY.

NOTE: CONTRACTOR TO VERIFY EXISTING STRUCTURE & COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION

1 TYPICAL LOAD SUPPORTED FROM BEAM DETAIL

S2.1.1 S2.1.1 1 1/2" = 1'-0"

ADDENDUM NO. 1

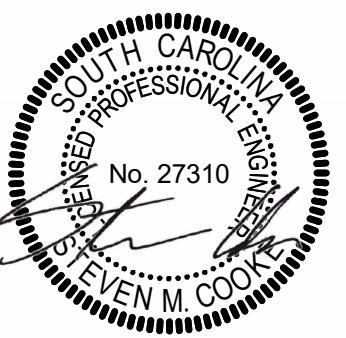


NOTE: REFER TO MECH. ELEC. PLUMBING AND CIVIL DRAWINGS FOR EQUIPMENT REQUIRING CONCRETE PAD

NOTE: f<sub>c</sub> 28 DAY STRENGTH = 3,000 PSI

HEAVY EQUIPMENT PAD

HEAVY EQUIPMENT BASE



COA # 3983

PROJECT NO:	635251
DATE:	APRIL 3, 2025
REVISIONS	
DATE	DESCRIPTION
04/25/2025	REV. 01
5/23/2025	ADDENDUM NO. 1

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C  
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A

1 2 3 4 5 6 7 8 9 10



**LOWER LEVEL DEMOLITION PLAN (ALTERNATE-1)**  
1/8" = 1'-0"

ADDENDUM  
NO. 1

**GENERAL NOTES**

A. ALL EXISTING EQUIPMENT AND CONTROLS, CONTROLLER, VALVES AND THERMOSTATS ETC. NOTED TO BE REMOVED SHALL BE SALVAGED AND PRESENTED TO THE OWNER FOR DETERMINATION OF WHAT EQUIPMENT AND CONTROLS WILL BE RETAINED BY THE OWNER AND WHAT WILL BE DISPOSED OF.

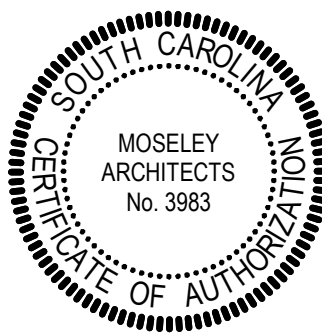
**KEYNOTES**

APPLIES TO THIS DRAWING  
REPRESENTED BY [1]

1. REMOVE EXISTING EXHAUST FAN AND ASSOCIATED DUCTWORK SHOWN DASHED AND DISPOSE.
2. EXISTING EXHAUST WALL LOUVER.

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**SCC - TYGER RIVER BUILDING COSMETOLOGY RENOVATION**

1875 E. MAIN ST., DUNCAN, SC 29334  
SPARTANBURG COMMUNITY COLLEGE  
OSE PROJECT #: H59-N306-JM

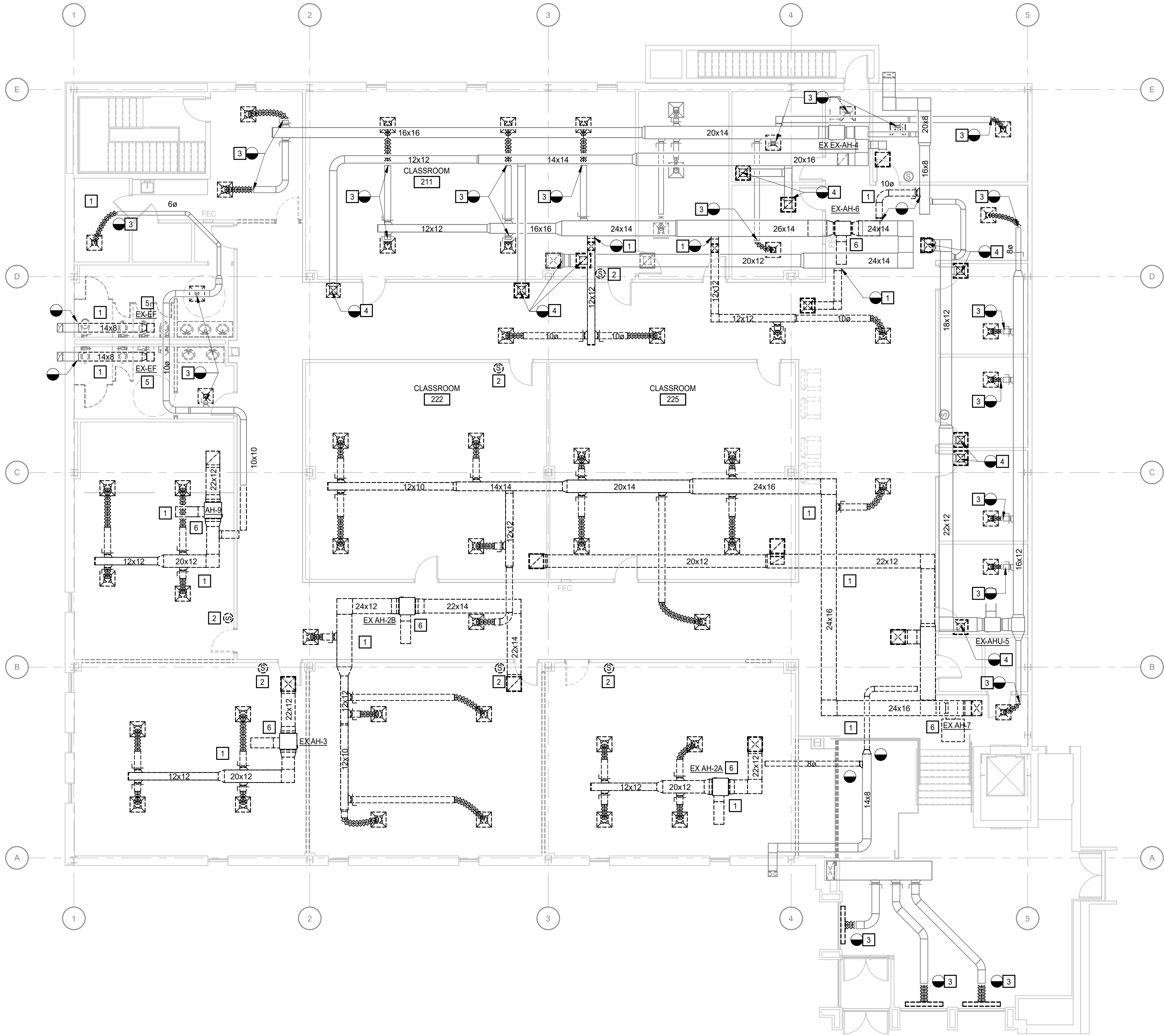
PROJECT NO:	635251
DATE:	APRIL 08, 2025
REVISIONS	
DATE	DESCRIPTION
04/25/2025	REV. 01
5/23/2025	ADDENDUM NO. 1

LOWER LEVEL  
DEMOLITION PLAN  
(ALTERNATE-1)

**M1.1**



5/20/2025 12:51:32 PM



UPPER LEVEL DEMOLITION PLAN

1/8" = 1'-0"

KEYNOTES

APPLIES TO THIS DRAWING  
REPRESENTED BY [1]

1. REMOVE DUCTWORK AND DIFFUSERS SHOWN DASHED.
2. REMOVE THERMOSTAT AND CONTROL WIRING COMPLETELY.
3. REMOVE DIFFUSER AND FLEX DUCT. PREPARE FOR NEW CONNECTION.
4. REMOVE RETURN GRILLE AND TRANSITION DUCTWORK. PREPARE FOR NEW CONNECTION.
5. REMOVE EXHAUST FAN, CONTROLS AND DUCTWORK SHOWN DASHED.
6. REMOVE AHU UNIT AND ASSOCIATED CONTROLS.

GENERAL NOTES

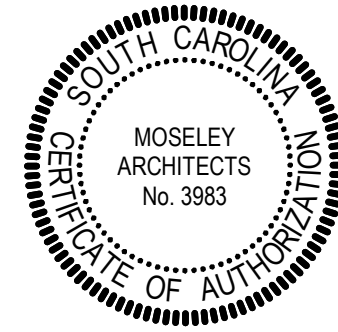
- A. DUE TO LIMITED ABOVE CEILING ACCESS, EXISTING DUCTWORK SIZES ARE APPROXIMATE.
- B. ALL EXISTING EQUIPMENT AND CONTROLS, CONTROLLER, VALVES AND THERMOSTATS ETC. NOTED TO BE REMOVED SHALL BE SALVAGED AND PRESENTED TO THE OWNER FOR DETERMINATION OF WHAT EQUIPMENT AND CONTROLS WILL BE RETAINED BY THE OWNER AND WHAT WILL BE DISPOSED OF.

SCC - TYGER RIVER BUILDING COSMETOLOGY RENOVATION

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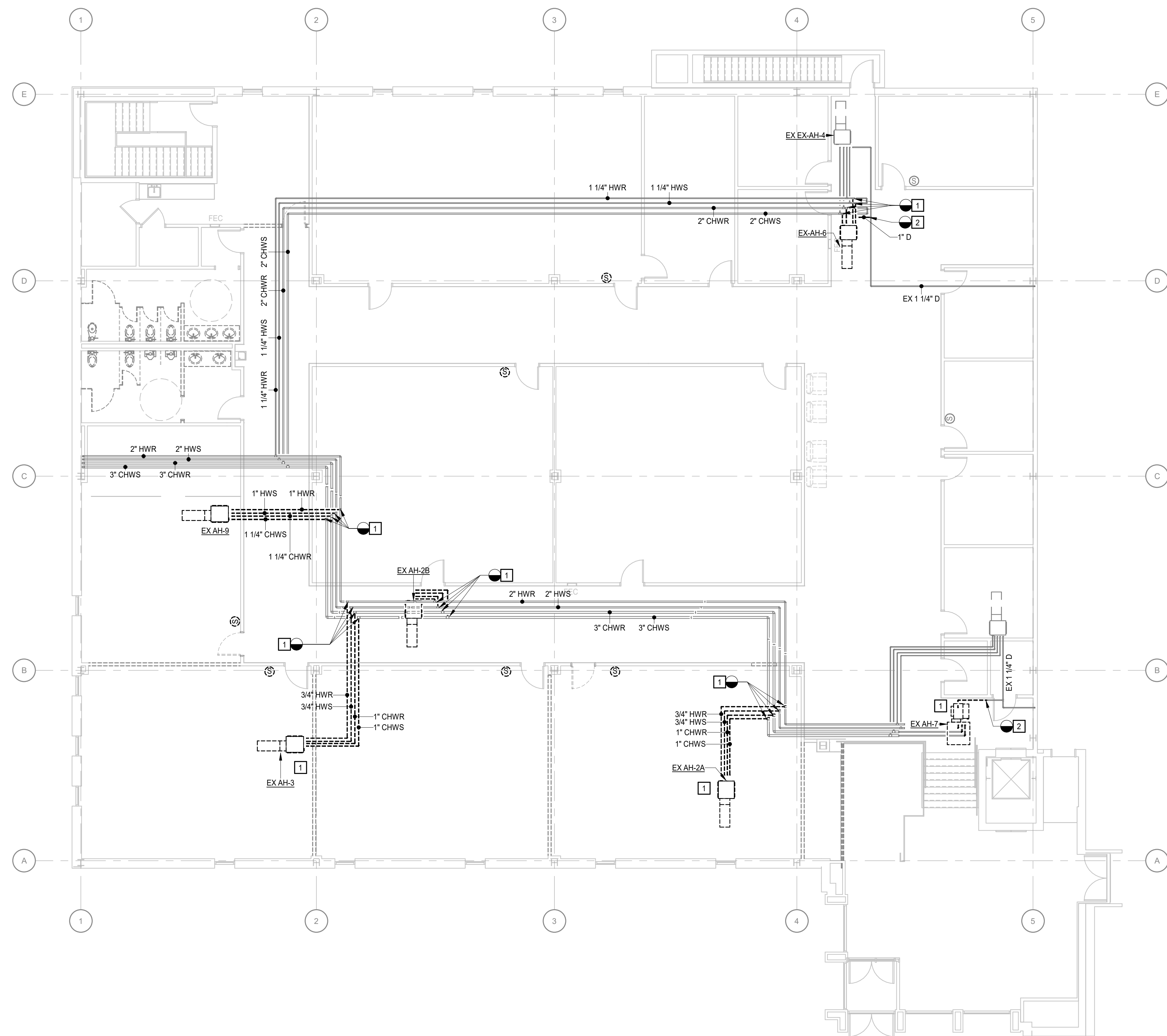
UPPER LEVEL  
DEMOLITION PLAN




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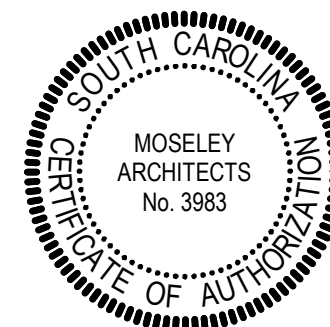
M1.2



**UPPER LEVEL DEMOLITION PIPING PLAN**  
1/8" = 1'-0"

GENERAL NOTES		KEYNOTES	
A. ALL EXISTING EQUIPMENT AND CONTROLS, CONTROLLER, VALVES AND THERMOSTATS ETC. NOTED TO BE REMOVED SHALL BE SALVAGED AND PRESENTED TO THE OWNER FOR DETERMINATION OF WHAT EQUIPMENT AND CONTROLS WILL BE RETAINED BY THE OWNER AND WHAT WILL BE DISPOSED OF.		APPLIES TO THIS DRAWING REPRESENTED BY 	
		1. REMOVE PIPING, ASSOCIATED ACCESSORIES AND EQUIPMENT SHOWN DASHED COMPLETELY. CAP PIPING AT MAINS.	
		2. REMOVE CONDENSATE PIPING. PREPARE FOR NEW CONNECTION.	

**ADDENDUM  
NO. 1**



# SCC - TYGER RIVER BUILDING COSMETOLOGY RENOVATION

1875 E. MAIN ST., DUNCAN, SC 29334  
SPARTANBURG COMMUNITY COLLEGE  
OSE PROJECT #: H59-N306-JM

PROJECT NO: 635251	
DATE: APRIL 08, 2025	
REVISIONS	
DATE	DESCRIPTION
04/25/2025	REV. 01
5/23/2025	ADDENDUM NO. 1

## UPPER LEVEL PIPING DEMOLITION PLAN





## RESPONSE TO PRE-BID QUESTIONS

Project Name	Spartanburg Community College – Tyger River Building Cosmetology Renovation
Project Number	H59-N306-JM
Date Issued	May 23 <sup>rd</sup> , 2025

## RESPONSES

The following responses are to questions received during and after Pre-Bid Conference meeting and after the Pre-Bid Conference for the above referenced project.

1. Mechanical drawings have been revised to indicate items to be removed during demolition are to be salvaged and turned over to the owner, as requested by the owner.
2. The existing building utilizes a Siemens operating system for the building mechanical controls.
3. The existing building utilizes a JCI operating system for the building fire alarm system.
4. The bid opening time has been changed to 2pm on 6/03/2025 in lieu of 10am on 6/03/2025. The bid opening location and mailing addresses have not been changed.
5. The wood lockers indicated on the plans are to be contractor furnished and contractor installed.
6. All VCT flooring in the demolition and construction area(s) shall be cleaned and waxed as part of the contractor's final cleaning before the building is turned over to the owner.
7. Accent paint bands in the corridors shall be 8" in width, interior elevations on sheets A4.2.1 and A4.2.2 have revised and included in Addendum No.1.
8. The design intent is to maintain the existing 24x48 ceiling grid system because it is very good condition and the contractor is to install additional grid members as needed for the new 24x24 ceiling tile. If the existing ceiling grid is damaged during construction or demolition activities, contractor is responsible for replacing damaged grid components.
9. Ceiling tile demolition is as indicated on drawing A9.0.2.
10. No existing ceiling grid components have been observed to be damaged or in poor condition required replacement. An assumed percentage of damaged grid will not be provided as it is
11. New wall base in the corridors is not in the project scope other than where patching is required due to the demolition of existing walls.

12. Rubber wall base has been added to the wood knee/chase walls, see revised sheet A4.2.2.
13. Provide rubber wall base on all new interior partitions and patch rubber wall base where existing walls were demolished.
14. Contractor is responsible for determining footing size and requirement for chainlink fence post refer to specifications 323113, 1.02, B, Design Calculations.
15. Structural detail for houskeeping pad has been added to sheet S2.1.1 in addendum no.1.
16. Landscaping demolition is to be performed by owner and any new landscaping once project is completed will be provided by the owner.
17. The revision cloud on sheet A2.1.2 in room 211 is a legacy revision from a permitting comment response, the cloud has been removed from the revised sheet in addendum no.1.
18. As indicated in the drawings the pedicure station chairs are to be owner furnished and contractor installed (OFCI). The pedicure stations already procured by the owner include an integral sink that the plumbing subcontractor is responsible for providing connections (ie water service, waste line) this is why the pedicure station is listed in the plumbing schedule.
19. As indicated in the drawings the hairwash stations are to be owner furnished and contractor installed (OFCI). The hairwash stations already procured by the owner include an integral sink that the plumbing subcontractor is responsible for providing connections (ie water service, waste line) this is why the hairwash station is listed in the plumbing schedule.
20. Stacked washer and dryer is to be provided by the contractor and installed by the contractor, keynote #3 on A7.2.1 has been revised in addendum no.1.
21. The project identification signs are optional or elective, if the successful contractor decides to erect one then it shall not be included in the project cost or the bid amount. The project identification sign included in the drawings does not indicate that the successful contractor must install one, instead these are references for the size, layout and content of the sign should the successful contractor elect to erect one.
22. The use of a temporary office trailer is the contractor's option, contractor also has the option to establish a temporary field office on the second floor where the cosmetology lab renovation work is being executed.
23. The limitations of temp fencing and/or barriers are to be determined by the successful contractor as they are considered part of means and methods. The successful contractor shall coordinate the location of temp fencing and barriers with the owner, architect, and AHJ. The facility will remain occupied while demolition and construction activities are ongoing.
24. The elevator may not be used by construction personnel during demolition and construction activities.
25. New ceilings are not to be insulated.



26. The intent is to replace the existing can light fixtures in the existing gypsum board ceiling in the lobby. The fixture replacement is considered an in-kind fixture replacement that is not expected to require demolition or modification of the existing gypsum board ceiling. The existing gypsum board ceiling is labeled as out-of-scope for clarity as there is no work expected to demolish or modify the existing gypsum board ceiling.
27. The cosmetology equipment for the cosmetology lab have already been procured by the owner and are being stored on site. Cutsheets for the equipment are not available but the owner's and installation instruction manuals are included in the boxes for each of the items that will be available to the successful contractor.
28. Please refer to the South Carolina Office of State Engineer's project manual and sample contracts included in the project manual for guidance on testing and inspections.